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OFFICE USE ONLY:		FILE #: _____
Date #: _____		Ground Coverage {sq. ft. or %}: _____
Parcel #: _____		County Zoning District: _____
State Sanitary #: _____		Shoreland Zoning District: _____
State UDC Seal #: _____		FIRM / DBS Zone: _____
Waterfront Yes No		{Elevations Rqrd?: Sanitary / Construction}
Within 300 ft. of OHWM? Y N		Airport Height Zoning: _____

Planning & Zoning Department
Permit Application
P. O. Box 187 Phone: 608 339-4222
Friendship, WI 53934 Fax: 608 339-4504

*** ADDITIONAL REGULATIONS:** The undersigned hereby applies for a Permit to do work described and located as shown on this application and the attached plot plan. For your protection, determine if your project is subject to any regulations etc. other than Adams County.

*** SETBACKS:** All lot lines shall be physically marked for all setbacks that are less than ten feet greater than the required setback (e.g. side lot setback = 10 ft., if actual setback will be less than 20 ft., must mark lot line). Permits are issued based upon information submitted including the plot plan. It is the property owner/contractor responsibility to complete construction according to the approved submittals and in accordance with County Zoning, Sanitary, Building Construction and/or Land Division Ordinances, and with all laws of the State of Wisconsin applicable to said premises and work.

CIRCLE ACTIVITY(S): TOWER EROSION CONTROL ZONING SANITARY BUILDING RAZING

PLEASE PRINT CLEARLY & FILL OUT COMPLETELY

Owned By: _____ **Phone:** _____
 {First} {Middle Initial} {Last}

Mailing Address: _____

Property Description:

Gov. Lot: _____ or _____ ¼, _____ ¼, Sec. _____, T _____ N, R _____ E

Lot: _____; Block: _____; Addition: _____; Subdivision: _____ or CSM: _____

Town: _____ Property Address (if any): _____

Lot / Parcel Size: Width: _____ Length: _____ Acres / Sq. Ft.: _____

Ground Coverage (Buildings Only - sq. ft.): _____ House: _____ Garage: _____ Shed: _____ Porch: _____
Acc. Bldg. (1): _____ Acc. Bldg. (2): _____ Carport: _____ Lean-to: _____ Other (What?): _____

Construction Description:

Use: _____ (New Building, Addition, Electric, Plumbing, HVAC, Moving, Alteration, Sanitary, etc.)

Type of Construction (if Manufactured Home, list year): _____ (RV, Residence, Accessory Building, Commercial, Industrial, Public etc.)

_____ (Frame, Masonry, Manufactured, Pole, etc.)

Building Description:

Width: _____ Length: _____ Area: _____ Sq. Ft.

Height: _____ No. of Stories: _____ No. of Bedrooms: _____

IMPORTANT NOTES: IT IS THE RESPONSIBILITY OF THE PERSON SIGNING TO CALL FOR REQUIRED INSPECTIONS. THE UNDERSIGNED FURTHER ACKNOWLEDGES: (1) THAT THEY HAVE READ *NOTES ABOVE. AND THE NOTICE ON THE BACK OF THIS PERMIT APPLICATION REGARDING WETLANDS. THE SIGNATURE BELOW ALSO GRANTS CONSENT FOR DEPARTMENT STAFF TO ENTER PREMISES.

Signature of Owner or Agent: _____ **Phone:** _____

Printed Name: _____ **Address:** _____

OFFICE USE ONLY:		Comments / Conditions:
Zoning: \$ _____	Other: \$ _____	Must have truss specs. from manufacturer
Sanitary: \$ _____	State: \$ _____	_____
Building: \$ _____	Total: \$ _____	_____
Paid (check # or cash): _____		_____
Date: _____	By: _____	_____
PZ GENERAL PERMIT - 04-25-18		Approved / Denied by: _____ Date: _____



PLANNING AND ZONING DEPARTMENT

P.O. BOX 187, COURTHOUSE
FRIENDSHIP, WI 53934
PHONE: 608-339-4222
www.co.adams.wi.gov

CONTRACTOR VERIFICATION FOR BUILDING PROJECTS

We require the name and the license number of each Contractor & Subcontractor used on the jobsite.

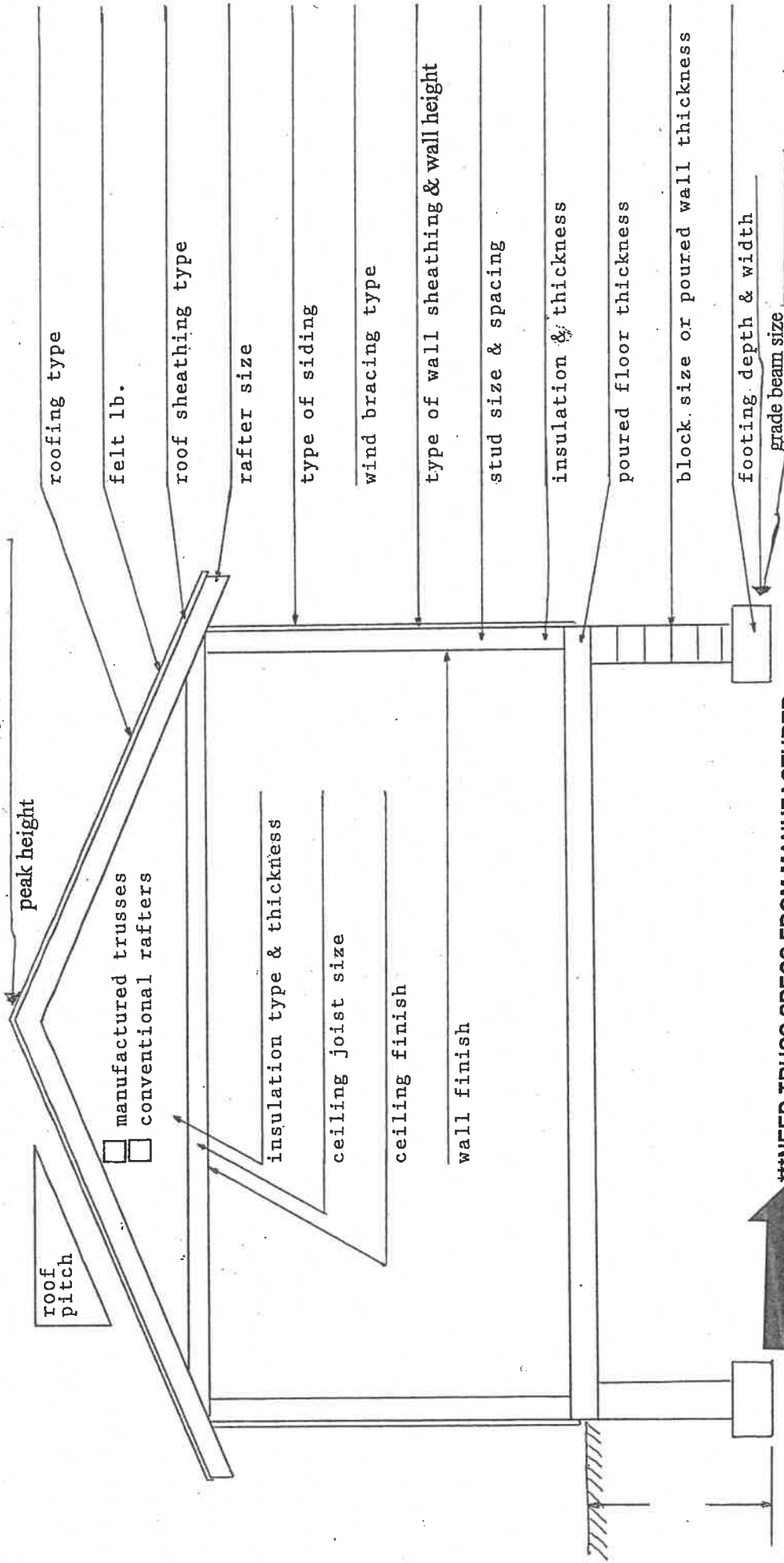
ALL INFO BELOW MUST BE FILLED OUT FOR PERMIT TO BE ISSUED.

PROJECT NAME & ADDRESS:

Dwelling Contractor Certification	Name: Phone #:	License #:
Dwelling Contractor Qualifier	Name: Phone#:	License #:
Electrical Contractor	Name: Phone#:	License #:
Master Electrician	Name: Phone #:	License #:
Plumbing Contractor	Name: Phone:	License #:
HVAC Contractor	Name: Phone:	License #:
Manufactured Home Installer	Name: Phone #:	License #:

Garage Size _____

Garage Cross Section



owner or agent signature
inspector signature

Garage Door(s):
 Door width _____
 Located in gable end side wall
 Header type & size _____

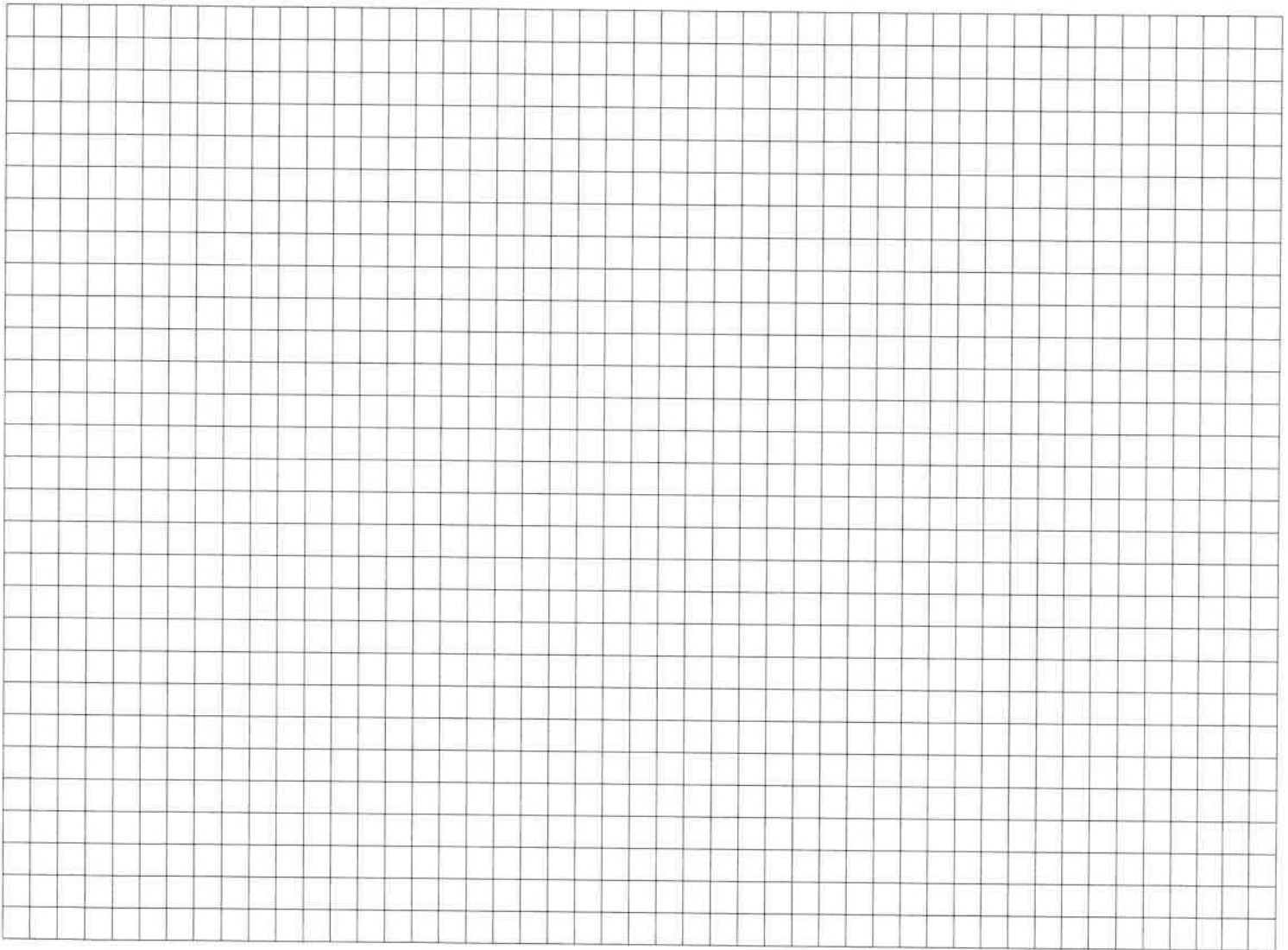
ELECTRIC IN GARAGE _____ YES _____ NO _____
 IF YES, MASTER ELECTRICIAN'S CERT. # _____

Site Map / Plot Plan / Standard Erosion Control Plan

See Reverse Side for Setback and Height Limit Information

PLEASE NOTE: All setbacks must be clearly and accurately shown or the map will be returned to you for clarification which will result in a delay of your project.

- Clearly show which direction is north with a North Arrow (N↑).
- Site map must be either drawn to scale or be dimensionally accurate.
- Show all roads that abut the parcel.
- Clearly indicate whether measurements from a road are from the lot line or the road centerline.
- Show all water-bodies abutting and/or within the parcel with setbacks from the Ordinary High-Water Mark.



N↑ = North Arrow

BU = Business
RE = Residence
PA = Parking
GA = Garage
PS = Pole Shed
BA = Barn
CS = Canopy Shelter
GZ = Gazebo
SL = Concrete Slab
ST = Stairs

FE = Fence
LT = Lean-to
DR = Driveway
SY = Side Yard
FY = Front Yard
CL = Center Line
RY = Rear Yard
WW = Walkway
PO = Patio
DK = Deck

RW = Retaining Wall
TR = Trees
SH = Shrubs
PR = Pier
BH = Boat House
BS = Boat Shelter
SL = Shoreline
WL = Well
SF = Septic Field
SV = Septic Vent

SC = Septic Cleanout
FP = Floodplain Boundary
OH = Ordinary High-water
R/W = Right of Way Line
LL = Lot Line
SP = Stock Piles
++++ = Erosion Control
“Indicate slope and drainage with arrows”

Setback, Height and Ground Coverage Regulations by Zoning District

IMPORTANT NOTES: All setbacks are measured from the furthest projection of the structure (e.g. roof overhang). Other situational regulations or exceptions may also apply.

Setbacks applicable to all zoning districts:

- Lake, river, stream, creek etc.: Minimum 75 ft. from the Ordinary High-Water Mark. The setback requirement may be greater than 75 ft. if the parcel is zoned under the Shoreland Protection Ordinance.

R-1:

Setbacks:

- Class A Highway {State Highway}: 110 ft. from centerline or 50 ft. from lot line, whichever goes furthest into the lot.
- Class B Highway {County Trunk}: 83 ft. from centerline or 50 ft. from lot line, whichever goes furthest into the lot.
- Class C Highway {Town Road}: 63 ft. from centerline or 30 ft. from lot line, whichever goes furthest into the lot.
- Front Lot Line: 30 ft. for all structures.
- Rear Lot Line: 30 ft. for dwelling and attached accessory structures, 10 ft. for detached accessory building.
- Side Lot Line: 10 ft. for all structures.

Height Limit:

- Residential structure and attached accessory structure: 35 ft.
- Detached accessory Structure: 35 ft.

Ground Coverage:

- Principal and accessory buildings: Maximum 20 % and not more than 8,000 sq. ft.

R-1 {LL}: All same as R-1

R-2:

Setbacks:

- Class A Highway {State Highway}: 110 ft. from centerline or 50 ft. from lot line, whichever goes furthest into the lot.
- Class B Highway {County Trunk}: 83 ft. from centerline or 50 ft. from lot line, whichever goes furthest into the lot.
- Class C Highway {Town Road}: 63 ft. from centerline or 30 ft. from lot line, whichever goes furthest into the lot.
- Front Lot Line: 30 ft. for all structures.
- Rear Lot Line: 30 ft. for dwelling and attached accessory structures, 10 ft. for detached accessory building.
- Side Lot Line: 10 ft. for all structures

Height Limit:

- Same as R-1.
- ##### Ground Coverage:
- Principal and accessory buildings: Maximum 5 % and not more than 10,000 sq. ft.

R-3:

Setbacks: Same as R-1 unless a manufactured home park.

Height Limit:

- Residential structure and attached accessory structure: 35 ft.
- Detached accessory Structure: 35 ft.

Ground Coverage:

- Single-family residential use: Principal and accessory buildings: Maximum 20 % and not more than 8,000 sq. ft.
- Manufactured home park: (1) Dwelling: maximum 1/3 of lot area. (2) Dwelling & accessory structures maximum: 2/3 of lot area.

B-1:

Setbacks:

Building:

- Class A, B & C Highway : 50 ft. from Right-of-Way line or lot line, whichever goes furthest into the lot.
- Rear Lot Line: 30 ft.
- Side Lot Line: 30 ft.

Parking Lot:

- Class A, B & C Highway : 30 ft.
- Rear Lot Line: 30 ft.
- Side Lot Line: 10 ft.

Ground Coverage:

- Principal and accessory buildings: Maximum 30%.

A-1 & A-1 {15}:

Setbacks:

- Residential structures: Same as R-1.
- Animal confinement structures: Front, rear and side lot lines: 100 ft.
- See Ordinance for Livestock Facility regulations.

Height Limit:

- Residential primary & accessory structures: Same as R-1.
- All other agricultural structures: 85 ft.

A-2: All same as A-1.

A-3: All same as A-1